



Knox City Council
REPORT APPENDIX A

Location
Melway 64 K9
Property Address
1-23 Erica Avenue,
BORONIA

Application Number
P/2016/6175
Description
Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs

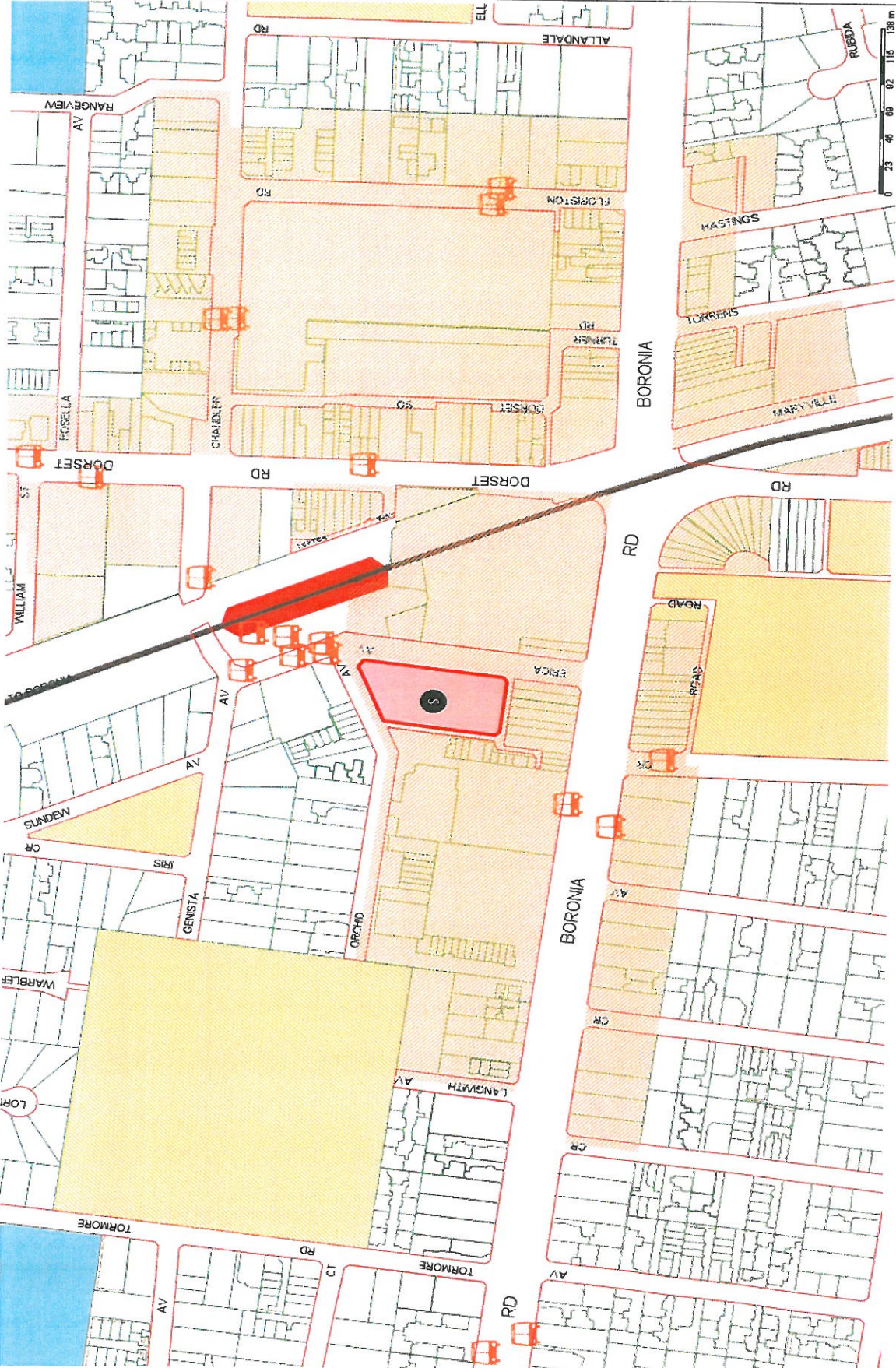
Ward
Baird

LEGEND:

- Title Boundary
- Road Boundaries
- City Boundary
- Bus Route
- Reserves
- Commercial Areas
- Tertiary Schools
- Primary Schools
- Secondary Schools
- P-12 School
- Bus Stops
- Objector
- Use Development
- Subject Property
- Petition



Scale: 1:3000



DISCLAIMER:

- Roads and Title Boundaries - State of Victoria, Knox City Council
 Planning Scheme Information - DPCD, Knox City Council
 Aerial Photography - AAM (Flown January 2013 - unless otherwise stated)
 Melbourne Water Drainage Information - Melbourne Water
1. Whilst every endeavor has been made to ensure that the mapping information is current and accurate, no responsibility or liability is taken by Knox City Council or any of the above organizations in respect to inaccuracy, errors, omissions or for actions based on this information.
 2. Planning information should be used only as a means of preliminary investigation. For accurate overlay information please obtain a Planning Certificate from the Department of Infrastructure.
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 4. Drainage and flood extent information has been provided to Council on a yearly basis by Melbourne Water for indicative purposes only. Where the latest Melbourne Water drainage and flood extent mapping is critical, please contact Melbourne Water.



**Knox City Council
REPORT APPENDIX A**

Location
Melway

64 K9

**Property
Address**

1-23 Erica
Avenue,
BORONIA

**Application
Number**

P/2016/6175

Description

Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs

Ward

Baird

LEGEND:

- Title Boundary
- Road Boundaries
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- Bus Stops
- Objector
- Unit Development
- Subject Property
- Petition



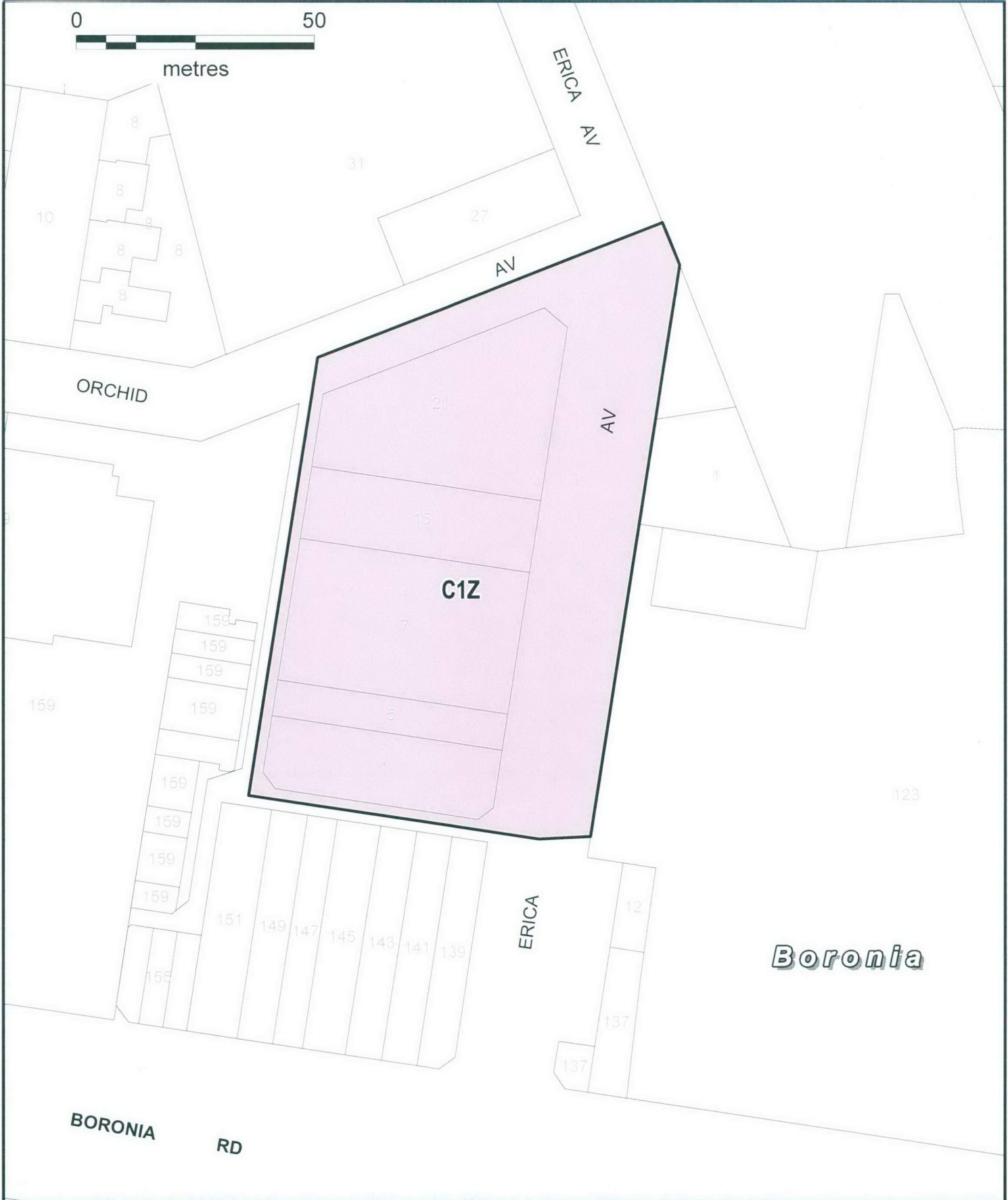
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DISCLAIMER:

Roads and Title Boundaries - State of Victoria, Knox City Council
 Planning Scheme Information - DPCD, Knox City Council
 Aerial Photography - AAM (flown January 2013 - unless otherwise stated)
 Melbourne Water: Drainage Information - Melbourne Water

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LEGEND

Part of Planning Scheme Map 3

C1Z COMMERCIAL 1 ZONE

AMENDMENT C145



1-13 ERICA AVENUE
BORONIA, VIC 3083

PROPOSED RETAIL DEVELOPMENT

1-13 ERICA AVENUE
BORONIA, VICTORIA



Knox City Council
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06 JUL 2016
PLANNING DEPARTMENT



Level 3 - 117 Myers Street Geelong VIC 3220 AUSTRALIA
Level 2 - 390 St Kilda Road Melbourne VIC 3004 AUSTRALIA
52 11 King William Street Kent Town SA 5067 AUSTRALIA
Select Architects Pty Ltd - ABN:60 110 646 345
Director: Peter Serra AIA - Architect Reg. 15816

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PROPOSED RETAIL DEVELOPMENT

TABLE OF CONTENTS

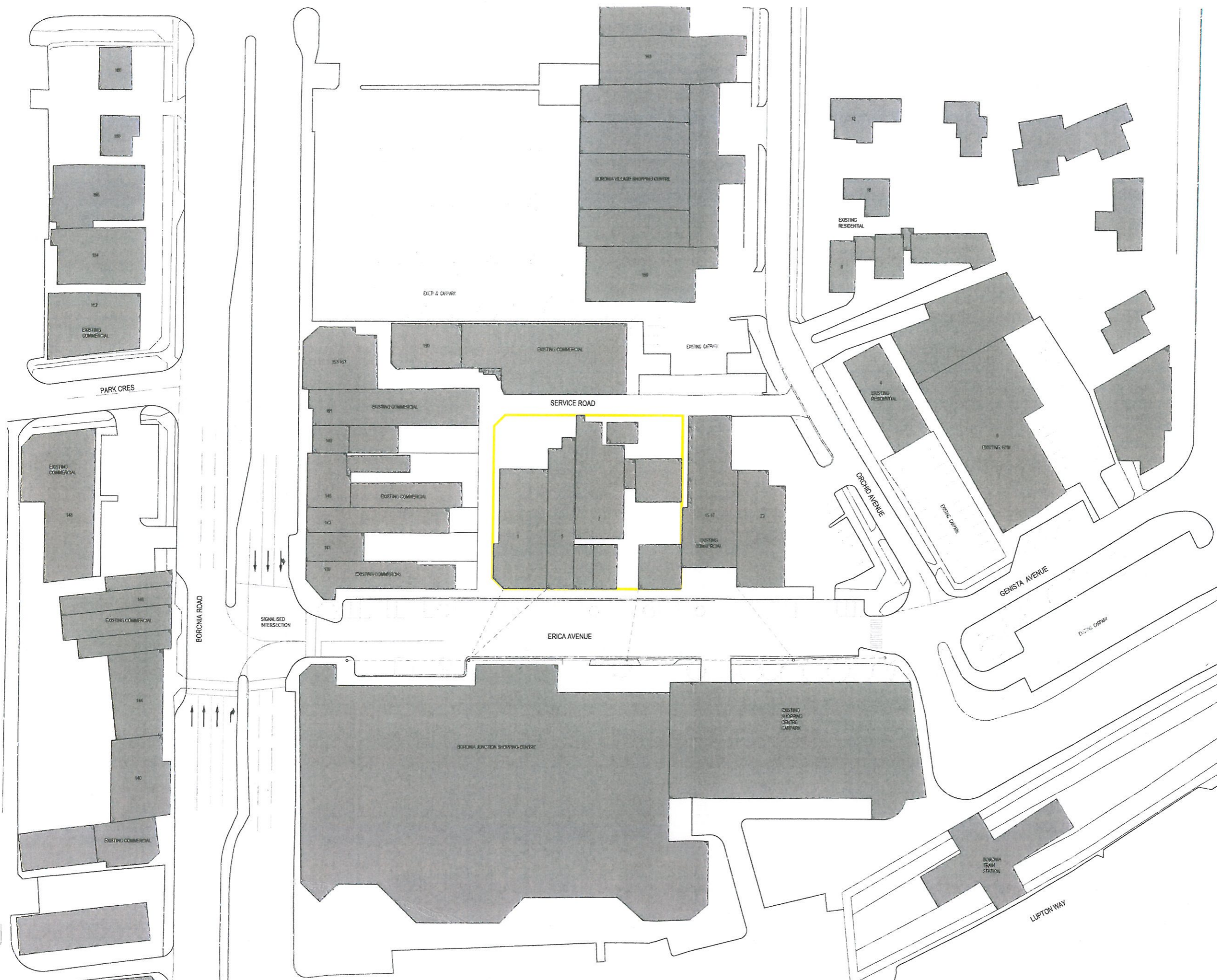
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TP-01	EXISTING SITE PLAN	1:500	C
TP-02	EXISTING AND PROPOSED STREETScape	1:200	B
TP-03	PROPOSED SITE PLAN	1:250	D
TP-04	PROPOSED REFRIGERATION PLANT DECK PLAN	1:250	C
TP-05	PROPOSED UPPER LEVEL - CARPARK	1:250	C
TP-06	PROPOSED ELEVATIONS	1:100	C
TP-07	PROPOSED ELEVATIONS	1:100	C
TP-08	PROPOSED SECTIONS	1:100	B
TP-09	PROPOSED SIGNAGE PLAN	1:250	C
TP-10	PROPOSED SIGNAGE DETAILS	1:50	C
TP-11	PROPOSED GROUND FLOOR PLAN	1:100	B
TP-12	PROPOSED REFRIGERATION PLANT DECK PLAN	1:100	B
TP-13	PROPOSED UPPER LEVEL CAR PARK PLAN	1:100	B

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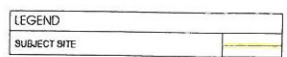
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Level 2, 350 St Kilda Road Melbourne VIC 3004 AUSTRALIA
92/11 King William Street Rent Town SA 5057 AUSTRALIA
Select Architects Pty Ltd ABN 60 120 640 949
Director: Peter Germ AIA - Architect Reg. 15016

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect/Designer.
 2. Part of Site use any other programs with site or other information to be advised to the Architect/Designer and shown on approval to be taught before the implementation of the data.
 3. Block and site plans should be well and by a third boundary survey prior to commencement on site.
 4. Do not scale this drawing.
 5. For the purposes of coordination, all relevant parties must add this information prior to implementation and report any discrepancies to the Architect/Designer.
- | REV | DATE | DESCRIPTION | BY | CHKD |
|-----|----------|----------------------|-----|------|
| A | 08.02.16 | PLANNING ISSUE | DSO | RB |
| B | 08.04.16 | DRAWING SIZE UPDATED | DSO | RB |
| C | 07.07.16 | GENERAL UPDATE | DSO | CM |



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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.



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 ALDI STORES
 (A LIMITED PARTNERSHIP)



PROJECT
 PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

DRAWING
 EXISTING SITE PLAN

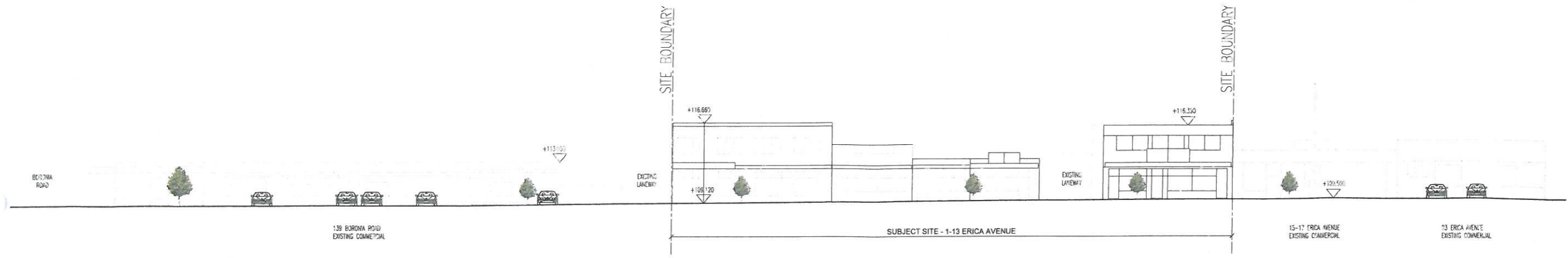
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 Suite 2 11 King William Street South Melbourne VIC 3207 AUSTRALIA
 T +61 3 8250 0400 F +61 3 7221 2816
 admin@selectarchitects.com.au
 www.selectarchitects.com.au
 Client: Architects Pty Ltd ABN 60 120 610 249
 Director: Peter Seneo RIBA - Architect Reg 15818

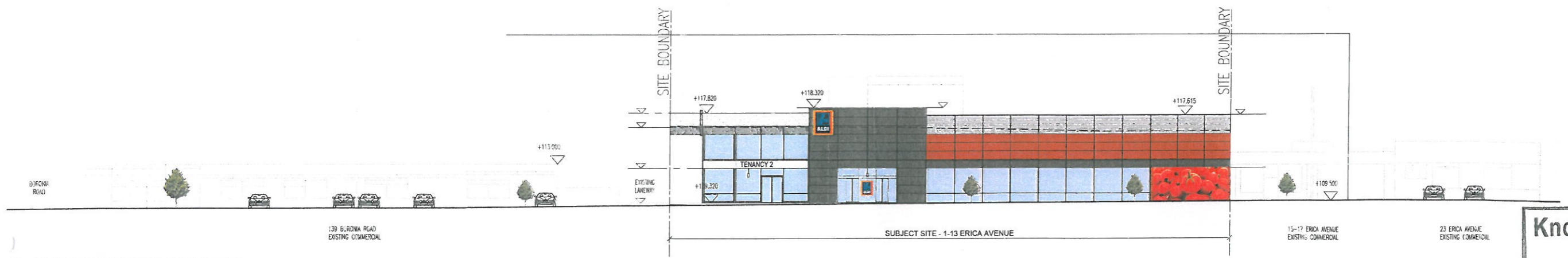
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SG	RB	1:500
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-01	C	

DT1 EXISTING SITE PLAN
 SCALE: 1:500

- Set off finished levels (not spot levels) for any walls, stairs, curbs, pavements, etc. from the drawings, unless otherwise indicated. All spot levels must be checked against the finished levels and any discrepancies must be reported to the Architect / Designer.
- All boundaries, dimensions, and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect / Designer.
 - Final Services: Any discrepancies with site or other information is to be referred to the Architect / Designer and approval is to be sought before the implementation of the site.
 - Spot and site levels should be verified by a check levelling survey prior to commencement on site.
 - Do not scale the drawing.
 - For the purpose of coordination, all mechanical parties must check their submission prior to implementation and report any discrepancies to the Architect / Designer.
- | REV | DATE | DESCRIPTION | DRN | CHKD |
|-----|----------|----------------------|-----|------|
| A | 08.02.16 | PLANNING ISSUE | BSO | RB |
| B | 06.04.16 | DRAWING SIZE UPDATED | BSO | RB |



01 EXISTING STREETScape - ERICA AVENUE
SCALE: 1:200



02 PROPOSED STREETScape - ERICA AVENUE
SCALE: 1:200

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PROJECT
PROPOSED RETAIL DEVELOPMENT
1-13 ERICA AVENUE
BORONIA, VIC

DRAWING
EXISTING AND PROPOSED STREETScape
ERICA AVENUE

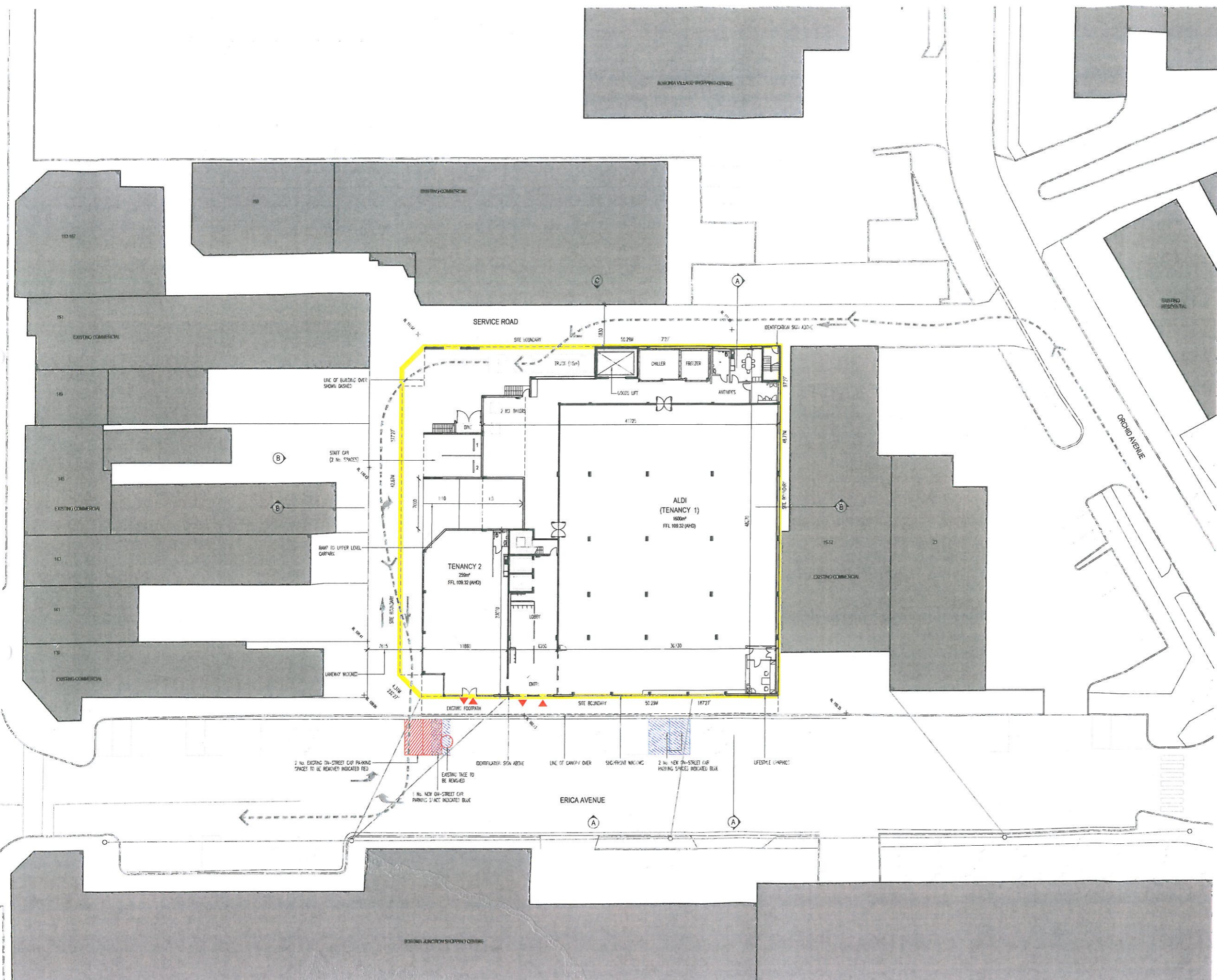
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Select Architects Pty Ltd ABN 63 120 640 310
Director Peter Sims RAA Architect Reg 15818

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SG	RB	1:200
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-02	C	

- 1. All dimensions, dimensions and levels are to be indicated on the relevant communication and any dimensions are to be indicated to the Architect/Designer.
- 2. Partial Services: Any dimensions with or without other items are to be indicated to the Architect/Designer and direction or approval is to be sought before the implementation of the site.
- 3. Back and in points should be verified by a check boundary survey prior to commencement on site.
- 4. Do not scale this drawing.
- 5. For the purpose of construction, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect/Designer.

REV	DATE	DESCRIPTION	DRN	CHKD
A	08.02.16	PLANNING ISSUE	DSO	RB
B	08.04.16	DRAWING SIZE UPDATED	DSO	RB
C	14.04.16	GENERAL UPDATE	DSO	RB
D	01.07.16	GENERAL UPDATE	DSO	CM



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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.

LEGEND

SUBJECT SITE	[Yellow outline]
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PROJECT
 PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

DRAWING
 PROPOSED SITE PLAN

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DRWING	CHECKED	SCALE
SG	RB	1:250
DATE	PROJECT No.	STATUS
AUGUST 2015	M1333	TP
DRAWING No.	REV	
TP-03	D	

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 - 2. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect / Designer.
 - 3. Partial Tenancy: Any discrepancies with site or other information is to be advised to the Architect / Designer and details or approval is to be sought before the implementation of the ALU.
 - 4. Site and site plans should be verified by a check boundary survey prior to commencement on site.
 - 5. For the purposes of approval, all relevant parties must check the information prior to implementation and report any discrepancies to the Architect / Designer.
- | REV | DATE | DESCRIPTION | DRN | CHKD |
|-----|----------|----------------------|-----|------|
| A | 08.02.16 | PLANNING ISSUE | DSO | RB |
| B | 06.04.16 | DRAWING SIZE UPDATED | DSO | RB |
| C | 01.07.16 | GENERAL UPDATE | DSO | CR |

Knox City Council
RECEIVED
06 JUL 2016
PLANNING DEPARTMENT

- REVISION NOTES:**
1. REVISED NORTH POINT DIRECTION.



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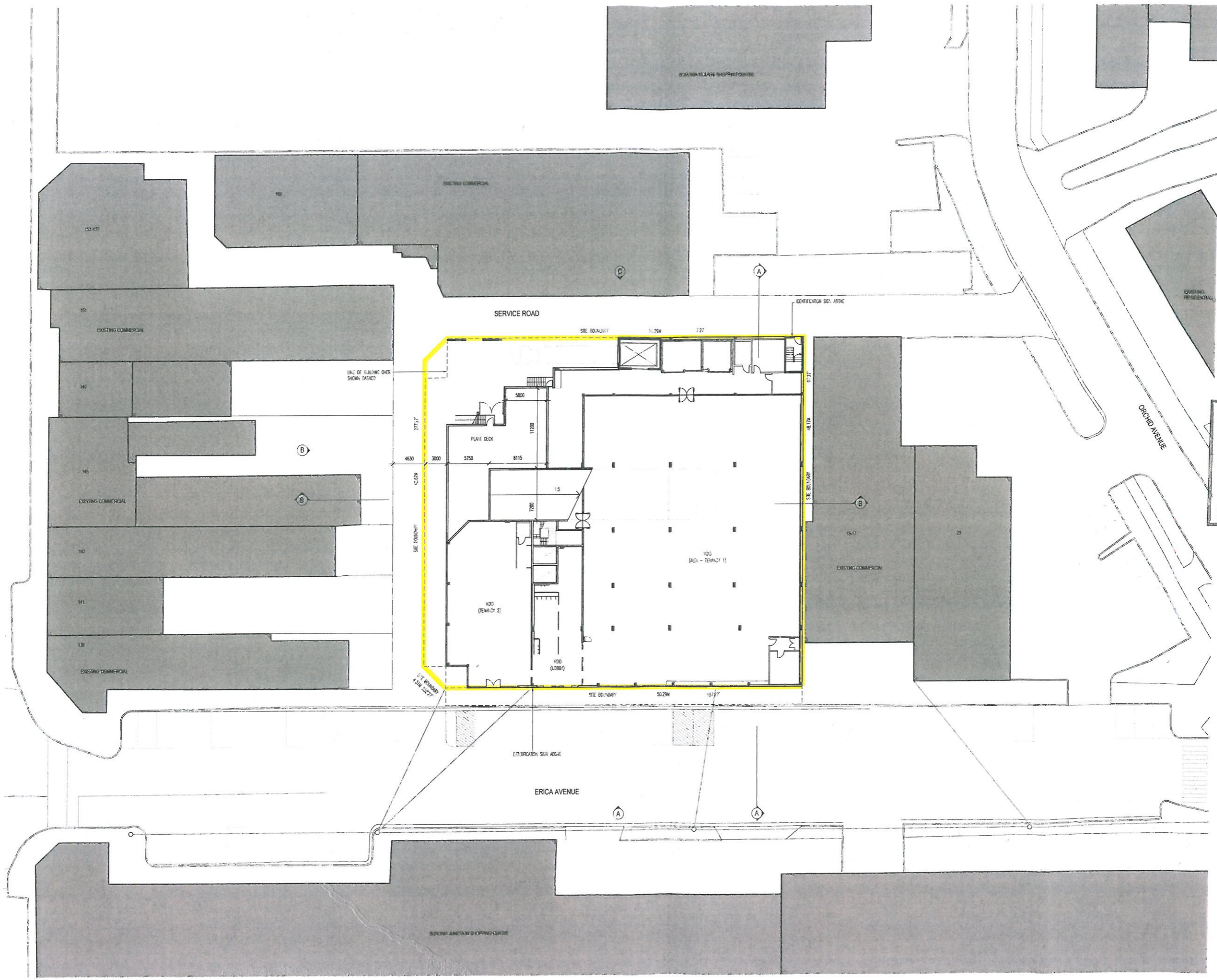
PROJECT
PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

DRAWING
PROPOSED REFRIGERATION PLANT DECK PLAN

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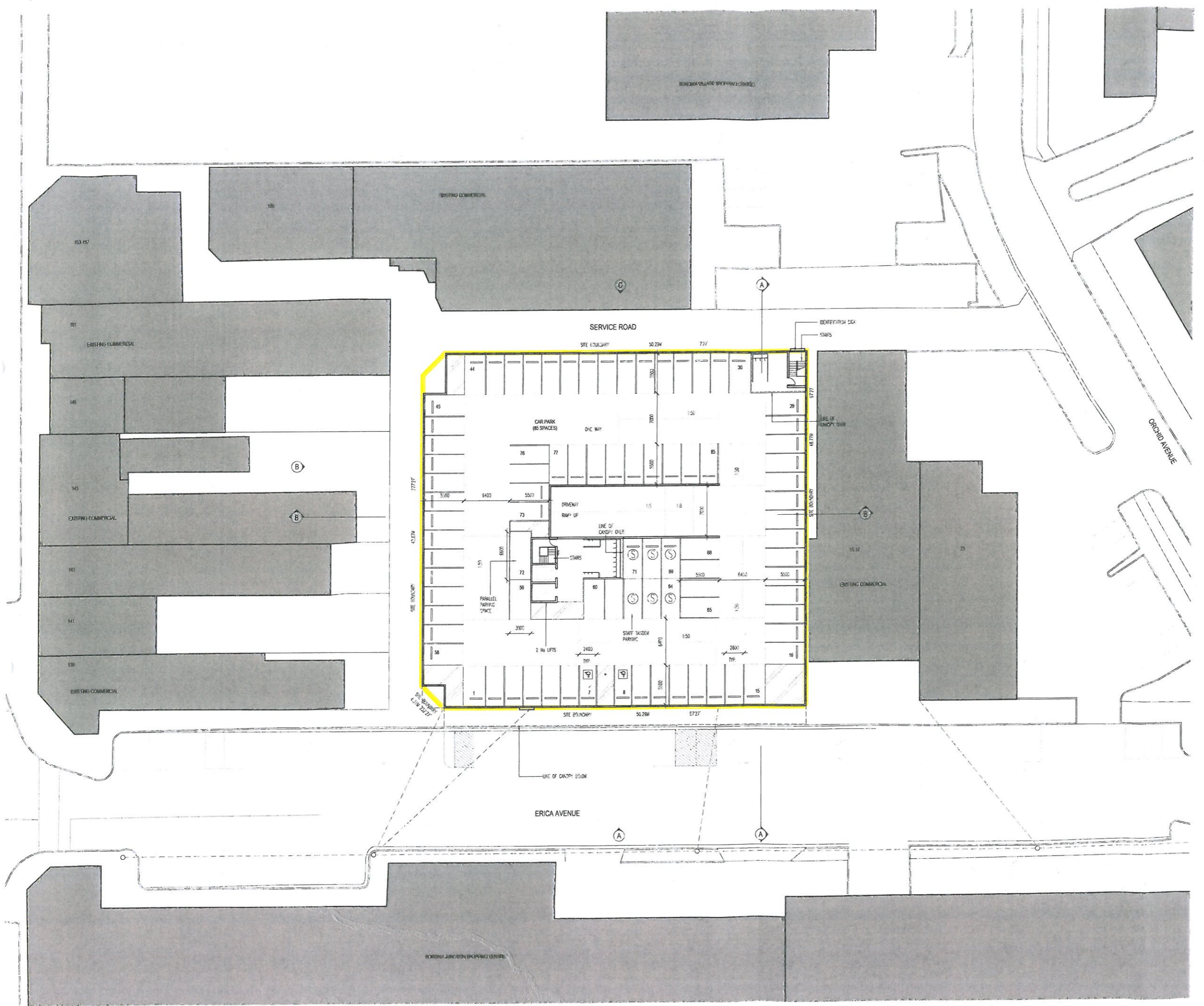
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DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-04	C	



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2. Parties to the contract shall be responsible for any errors or omissions in the drawings, specifications and/or documents, when used in conjunction with the contract and any other documents.
3. Each and every party should be verified by a third party survey prior to commencement of the site.
4. Do not scale the drawing.
5. For the purpose of construction, all relevant parties must check the information prior to implementation and report any discrepancies to the Architect / Designer.

REV	DATE	DESCRIPTION	DRN	CHKD
A	06.07.16	PLANNING ISSUE	DSO	RB
B	06.08.16	DRAWING SIZE UPDATED	DSO	RB
C	01.07.16	GENERAL UPDATE	DSO	CM



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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.

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PROJECT
PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

DRAWING
PROPOSED UPPER LEVEL CARPARK

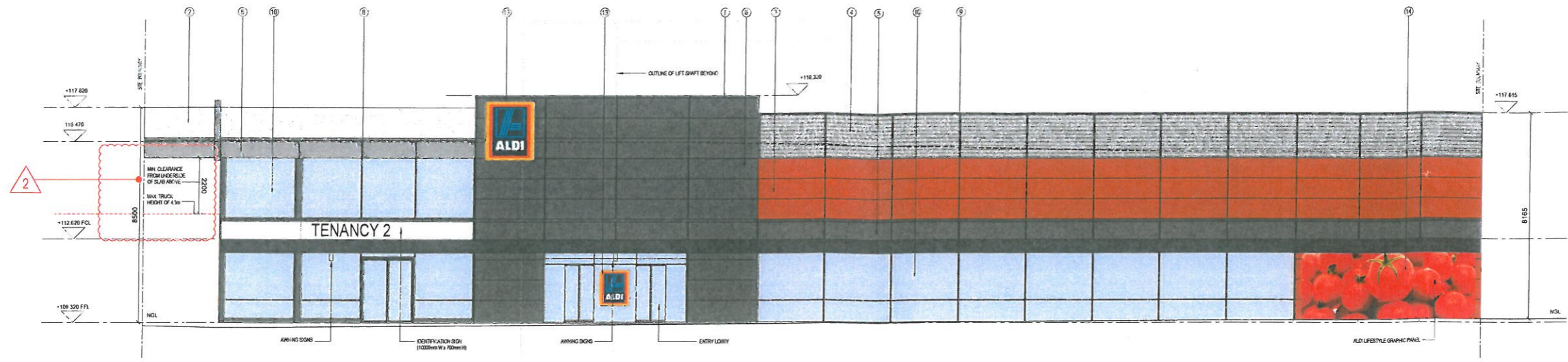
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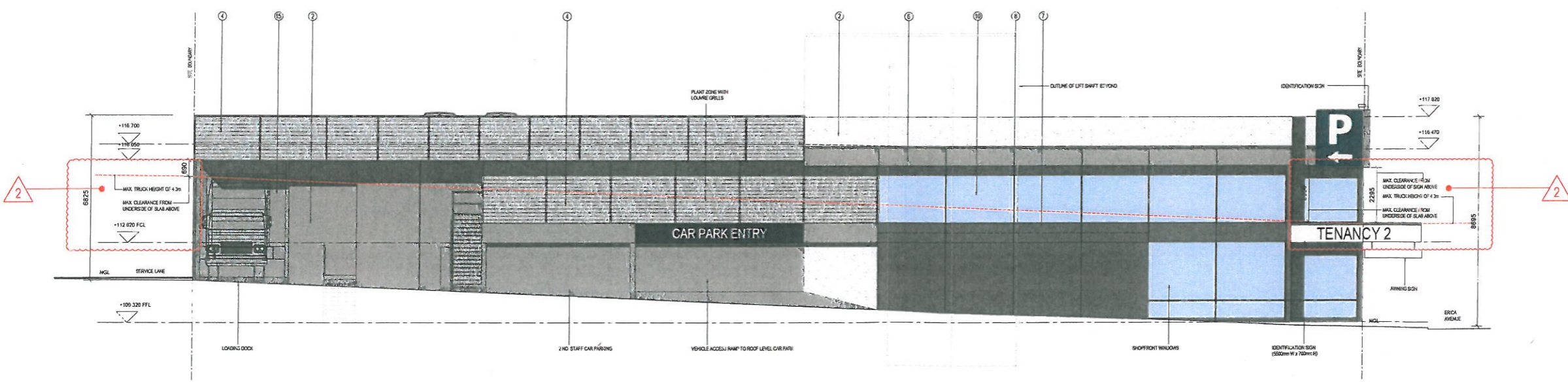
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SG	RB	1:250
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-05	C	

01 PROPOSED UPPER LEVEL CARPARK
 SCALE: 1:250

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 - Block and site plans, should be verified by a check boundary survey prior to commencement on site.
 - Do not scale this drawing.
 - For the purpose of coordination, all relevant parties must check their information prior to implementation and report any discrepancies to the Architect/Designer.
- | REV | DATE | DESCRIPTION | BY | CHKD |
|-----|----------|----------------------|-----|------|
| A | 08.02.16 | PLANNING ISSUE | SSD | RB |
| B | 08.04.16 | DRAWING SIZE UPDATED | SSD | RB |
| C | 01.07.16 | GENERAL UPDATE | SSD | CA |



01 PROPOSED ELEVATION A - SOUTH EAST (ERICA AVENUE)
SCALE: 1:100



02 PROPOSED ELEVATION B - SOUTH WEST (SERVICE ROAD)
SCALE: 1:100

Knox City Council
RECEIVED
06 JUL 2016
PLANNING DEPARTMENT

- REVISION NOTES:
- DELETED NORTH POINT CLEARANCES.
 - ADDED TRUCK HEIGHT CLEARANCES.

MATERIAL SCHEDULE	
1	COLORBOND CAPPING - BASALT GREY
2	PAINTED PRECAST CONCRETE PANEL - DRIVE TIME
3	PAINTED PRECAST CONCRETE PANEL - FLUORESCENT FIBRE
4	POWDER COATED LOUMES - BASALT GREY
5	POWDER COATED PANEL - DRIVE TIME
6	FIBRE CEMENT FASCIA WITH EXPRESS JOINTS - SIMONE WEIL
7	FIBRE CEMENT FASCIA WITH EXPRESS JOINTS - DRIVE TIME
8	WINDOWS - POWDER COATED ALUMINIUM FRAMES - COLDE PEWTER
9	SHOPFRONT - POWDER COATED ALUMINIUM FRAMES - COLDE PEWTER
10	CLEAR GLAZING
11	DOOR AND FRAME - COLDE PEWTER
12	DOOR AND FRAME - FLUORESCENT FIBRE
13	ILLUMINATED IDENTIFICATION SIGN
14	LIFESTYLE GRAPHIC IMAGE
15	PANEL LIFT DOOR - BASALT GREY

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PROJECT
PROPOSED RETAIL DEVELOPMENT
1-13 ERICA AVENUE
BORONIA VIC

DRAWING
PROPOSED ELEVATIONS
SHEET 1

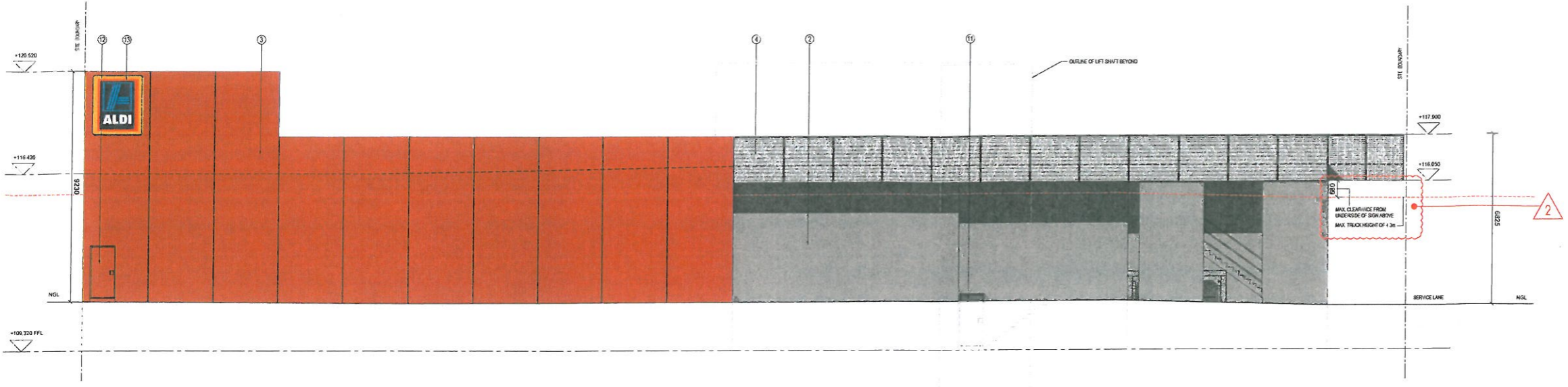
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DRAWN	CHECKED	SCALE
SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-06	C	

Client Approval: accept no responsibility for a project, license, permit, insurance or any other matter arising from these drawings, specifications and related documents unless there is full compliance with the contract or any other relevant law of the following:

1. All dimensions, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect/Designer.
2. Part of Service: Any discrepancies with site or other information is to be advised to the Architect/Designer and their approval is to be sought before the implementation of the design.
3. Easements and other rights shall be verified by a third boundary survey prior to commencement of site.
4. Do not scale this drawing.
5. For the purposes of construction, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect/Designer.

REV	DATE	DESCRIPTION	CHKD	CHKD
A	08.02.16	PLANNING ISSUE	DCO	RB
B	08.04.16	DRAWING SIZE UPDATED	DCO	RB
C	01.07.16	GENERAL UPDATE	DCO	CM



03 PROPOSED ELEVATION C - NORTH WEST (SERVICE ROAD)
SCALE: 1:100

Knox City Council
RECEIVED
06 JUL 2016
PLANNING DEPARTMENT

REVISION NOTES:
1. DELETED NORTH POINT.
2. ADDED TRUCK HEIGHT CLEARANCES.

MATERIAL SCHEDULE
1 COLORBOND CAPPING - BASALT GREY
2 PAINTED PRECAST CONCRETE PANEL - 'DRIVE TIME'
3 PAINTED PRECAST CONCRETE PANEL - 'FLUORESCENT FIRE'
4 POWDER COATED LOURES - BASALT GREY
5 POWDER COATED PANEL - 'DRIVE TIME'
6 FIBRE CEMENT FASCIA WITH EXPRESS JOINTS - SIMONE WEL
7 FIBRE CEMENT FASCIA WITH EXPRESS JOINTS - 'DRIVE TIME'
8 WINDOWS - POWDER COATED ALUMINIUM FRAMES - 'OLDE PEWTER'
9 SHOPFRONT - POWDER COATED ALUMINIUM FRAMES - 'OLDE PEWTER'
10 CLEAR GLAZING
11 DOOR AND FRAME - 'OLDE PEWTER'
12 DOOR AND FRAME - 'FLUORESCENT FIRE'
13 ILLUMINATED IDENTIFICATION SIGN
14 LIFESTYLE GRAPHIC IMAGE
15 PANEL LIFT DOOR - 'BASALT GREY'

CLIENT
ALDI STORES
(A LIMITED PARTNERSHIP)

PROJECT
PROPOSED RETAIL DEVELOPMENT
1-13 ERICA AVENUE
BORONIA, VIC

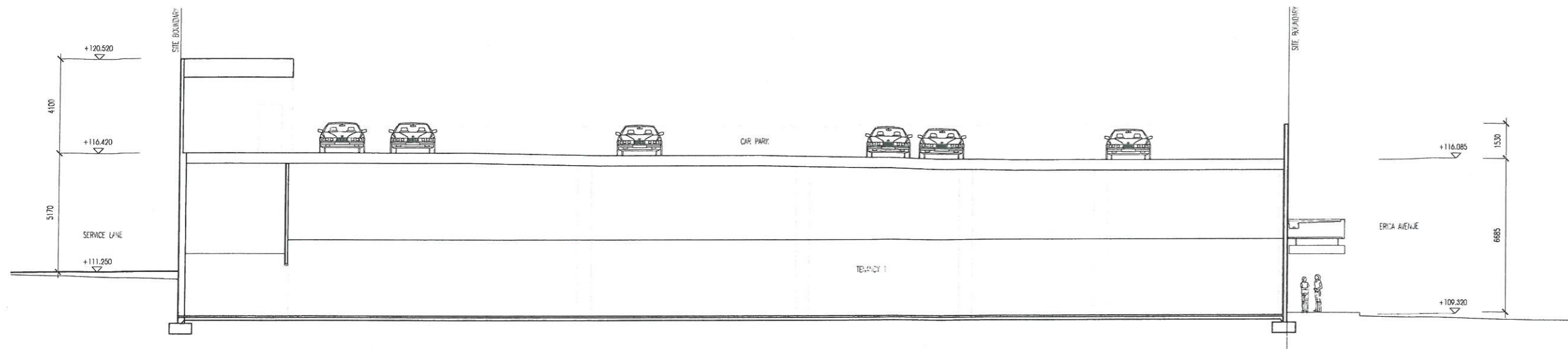
DRAWING
PROPOSED ELEVATIONS
SHEET 2

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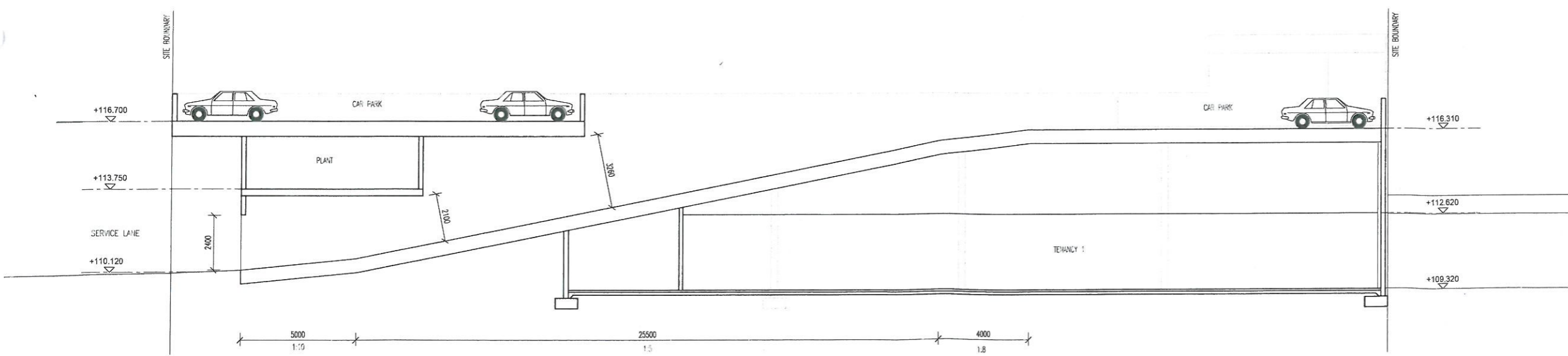
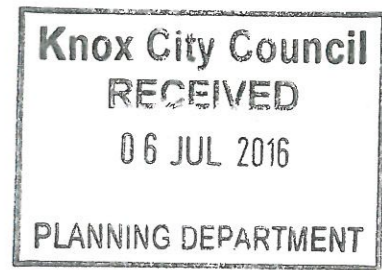
Level 3, 117 Myers Street, Geelong VIC 3220 AUSTRALIA
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DRAWN	CHECKED	SCALE
SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-07	C	

1. All boundaries, dimensions, and levels are to be checked by a suitably qualified person before construction.
 2. Part of Service Area dimensions with site or other information is to be checked by the Architect/Designer and approved in writing before the implementation of the design.
 3. Block and site plans must be verified by a check boundary survey prior to construction on site.
 4. Do not scale this drawing.
 5. For the purpose of construction, all relevant parties must check the volume as per the implementation and report any discrepancy to the Architect/Designer.
- | REV | DATE | DESCRIPTION | DRN | CRD |
|-----|----------|----------------------|-----|-----|
| A | 06.02.16 | PLANNING ISSUE | DSO | RB |
| B | 06.04.16 | DRAWING SIZE UPDATED | DSO | RB |



01 PROPOSED SECTION A-A
SCALE: 1:100



02 PROPOSED SECTION B-B
SCALE: 1:100

LEGEND

SUBJECT SITE	
--------------	--

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(A LIMITED PARTNERSHIP)

PROJECT
PROPOSED RETAIL DEVELOPMENT
1-13 ERICA AVENUE
BORONIA, VIC

DRAWING
PROPOSED SECTIONS

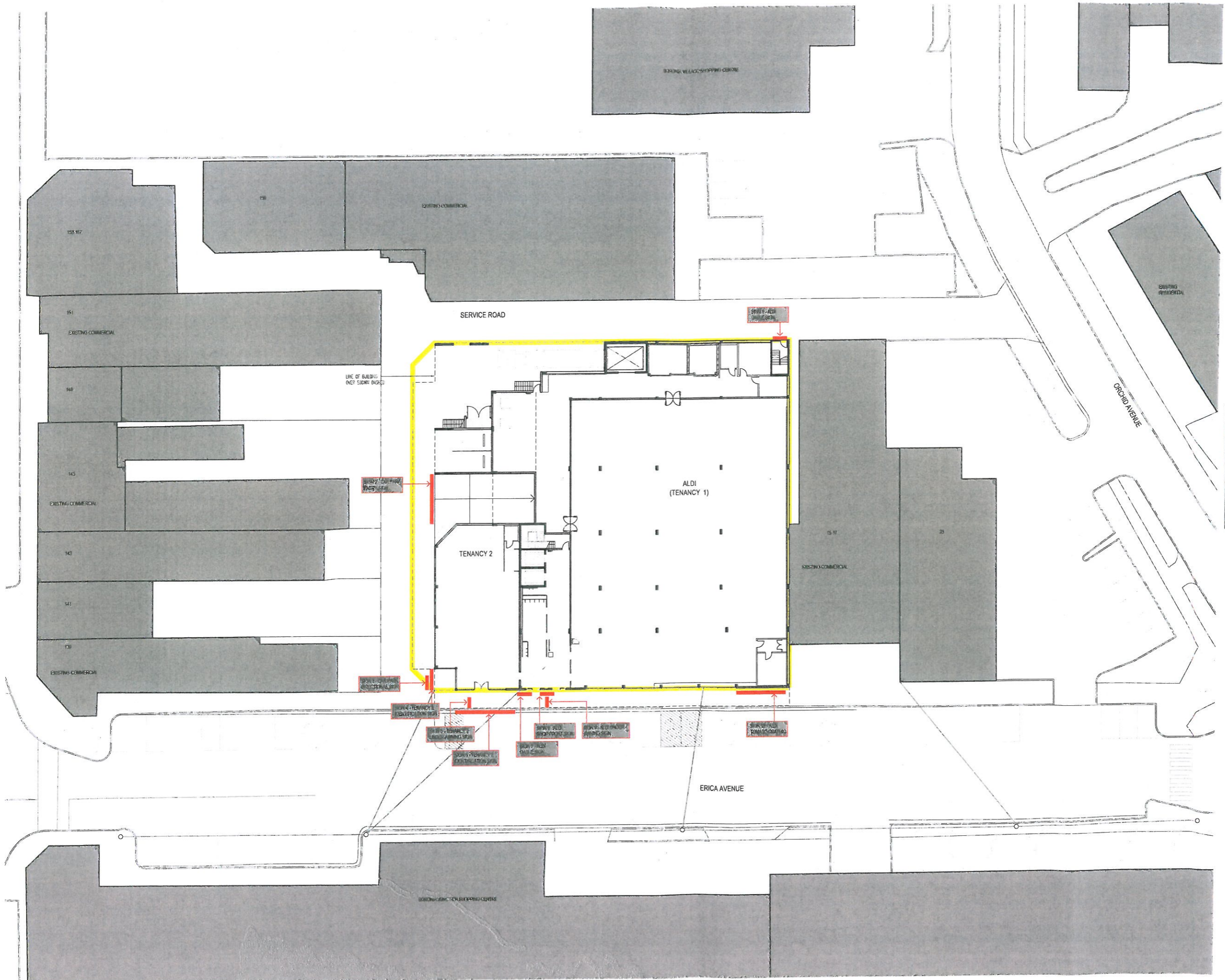
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Director: Peter Sama FPAU, Architect Reg. 15218

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SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRWNR's No	REV	
TP-08	B	

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect / Designer.
2. Final Service. Any discrepancies with site or other information is to be referred to the Architect / Designer and no work is to be carried out until the Architect / Designer is satisfied with the details.
3. Block and site plans should be verified by a check boundary survey prior to commencement on site.
4. Do not suit the drawing.
5. For the purpose of construction, all relevant parties must check this information prior to commencement and report any discrepancies to the Architect / Designer.


REV	DATE	DESCRIPTION	DES	CHKD
A	08.02.16	PLANNING ISSUE	DSG	RB
B	08.04.16	DRAWING SIZE UPDATED	DSG	RB
C	01.07.16	GENERAL UPDATE	DSG	CM



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PLANNING DEPARTMENT

- REVISION NOTES:**
1. REVISED NORTH POINT DIRECTION.

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PROJECT
PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

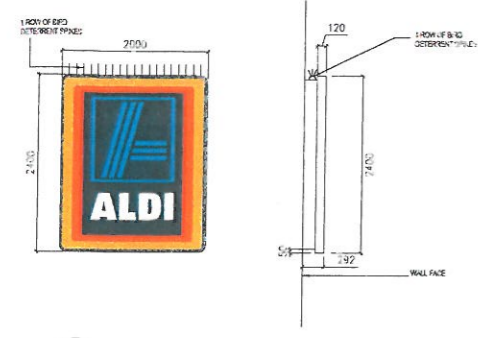
DRAWING
PROPOSED SIGNAGE PLAN

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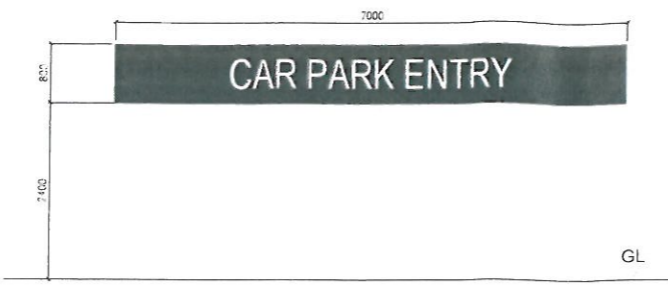
DRAWN	CHECKED	SCALE
SG	RB	1:250
DATE	PROJECT NO	STATUS
AUGUST 2015	M1333	TP
DRAWING NO	REV	
TP-09	C	

- Select Architects accept no responsibility for any errors, omissions or inaccuracies shown on these drawings, specifications and related documents, unless there is a list of compliance with the client as an authorized user of the drawings.
1. All boundary lines, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect/Designer.
 2. Public Service: Any discrepancies with site or other information to be added to the Architect/Designer and approved in writing before the commencement of the work.
 3. Block and site plans should be verified by a check boundary survey prior to commencement of the work.
 4. Do not scale the drawings.
 5. For the purpose of construction, all relevant parties must obtain the authorization prior to implementation and report any discrepancies to the Architect/Designer.
- | REV | DATE | DESCRIPTION | DRN | CHKD |
|-----|----------|---------------------|-----|------|
| A | 08.02.16 | PLANNING ISSUE | 050 | 08 |
| B | 08.04.16 | DRAWING SET UPDATED | 050 | 08 |
| C | 01.07.16 | GENERAL UPDATE | 050 | 08 |



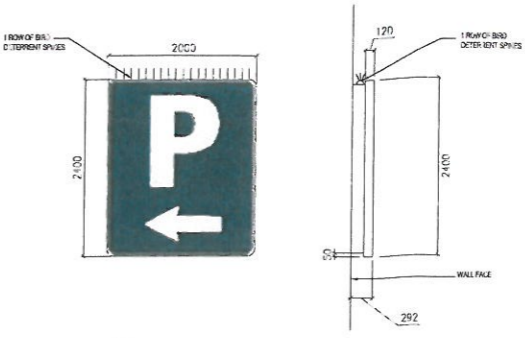
01 LARGE GABLE SIGN (SIGN 1, 7)
SINGLE SIDED ILLUMINATED FLEXFACE WALL SIGN (S)

LIGHTBOX
2400 X 2000 X 30MM SINGLE SIDED FLEX FACE BOX
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE (NO JOINTS)
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 40000 LUMENS 15300



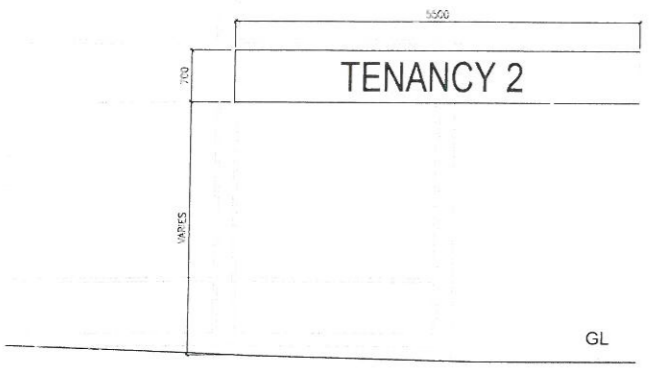
02 CAR PARK ENTRY SIGN (SIGN 2)
ILLUMINATED FLEXFACE WALL SIGN (S)

LIGHTBOX
800 X 7000 X 30MM SINGLE SIDED FLEX FACE BOX
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 43000 LUMENS 14000



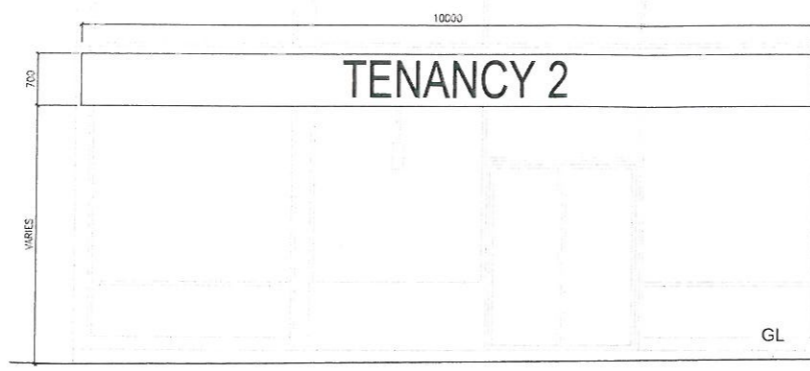
03 CAR PARK DIRECTIONAL SIGN (SIGN 3)
SINGLE SIDED ILLUMINATED FLEXFACE WALL SIGN (S)

LIGHTBOX
2000 X 2000 X 30MM SINGLE SIDED FLEX FACE BOX
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE (NO JOINTS)
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 40000 LUMENS 15300



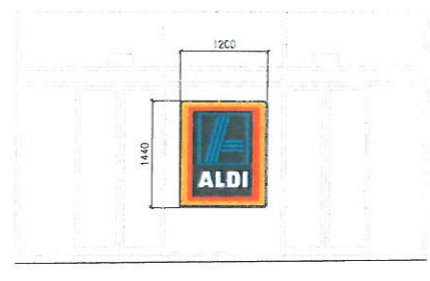
04 TENANCY 2 IDENTIFICATION SIGN (SIGN 4)
ILLUMINATED FLEXFACE WALL SIGN (S)

LIGHTBOX
ALUMINIUM FLEXFACE SIGNBOX EXTRUSION
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE (NO JOINTS)
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 43000 LUMENS 14000



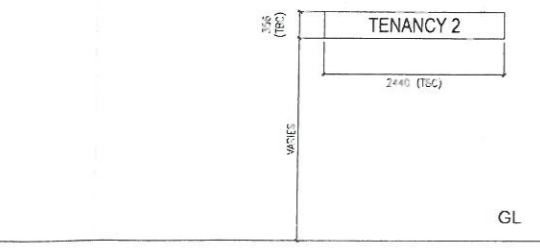
05 TENANCY 2 IDENTIFICATION SIGN (SIGN 5)
GROUPT BRANDED ILLUMINATED SIGN (S)

LIGHT BOX
ALUMINIUM FLEXFACE SIGNBOX EXTRUSION
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE (NO JOINTS)
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 43000 LUMENS 14000



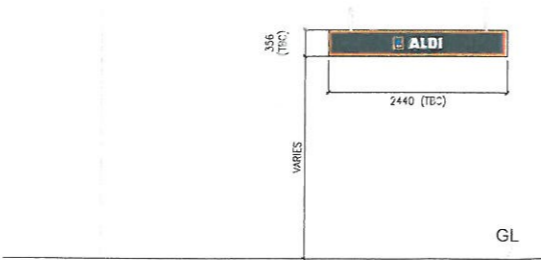
06 SHOPFRONT SIGN (SIGN 6)
SHOPFRONT ILLUMINATED SIGN (S)

LIGHTBOX
1440 X 1200 X 30MM SINGLE SIDED FLEX FACE BOX
INTERNAL ALUMINIUM FRAME
1 6MM ALUMINIUM CLADDING
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
MILFORDS SIL GRADE FLEX FACE (NO JOINTS)
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 43000 LUMENS 14000



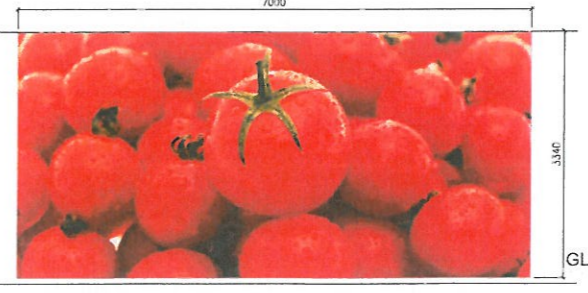
07 TENANCY 2 UNDER AWNING SIGN (SIGN 9)
DUAL SIDED ILLUMINATED POLYCARBONATE FACE (S)

LIGHTBOX
2440 X 316 X 15MM SINGLE SIDED FLEX FACE BOX
ALUMINIUM CHANNEL EXTRUSION WITH CLADDING STRIP
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
OPAL POLYCARBONATE FACES
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 83000 LUMENS 33000



08 ALDI UNDER AWNING SIGN (SIGN 9)
DUAL SIDED ILLUMINATED POLYCARBONATE FACE (S)

LIGHTBOX
2440 X 316 X 15MM SINGLE SIDED FLEX FACE BOX
ALUMINIUM CHANNEL EXTRUSION WITH CLADDING STRIP
2 PACK POLYURETHANE INTERNAL PAINT FINISHES
OPAL POLYCARBONATE FACES
TECHNOGRAPH 53 3M SELF-ADHESIVE VINYL
INTERNAL DAYLIGHT FLUORESCENT LIGHTING
LIGHT OUTPUT: CALVIN - 83000 LUMENS 33000



09 PHOTO IMAGE GRAPHIC (SIGN 10)
WALL MOUNTED GRAPHIC PANEL (S)



REVISION NOTES:
1. DELETED NORTH POINT.

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PROJECT
PROPOSED RETAIL DEVELOPMENT
1-13 ERICA AVENUE
BORONIA, VIC

DRAWING
PROPOSED SIGNAGE DETAILS

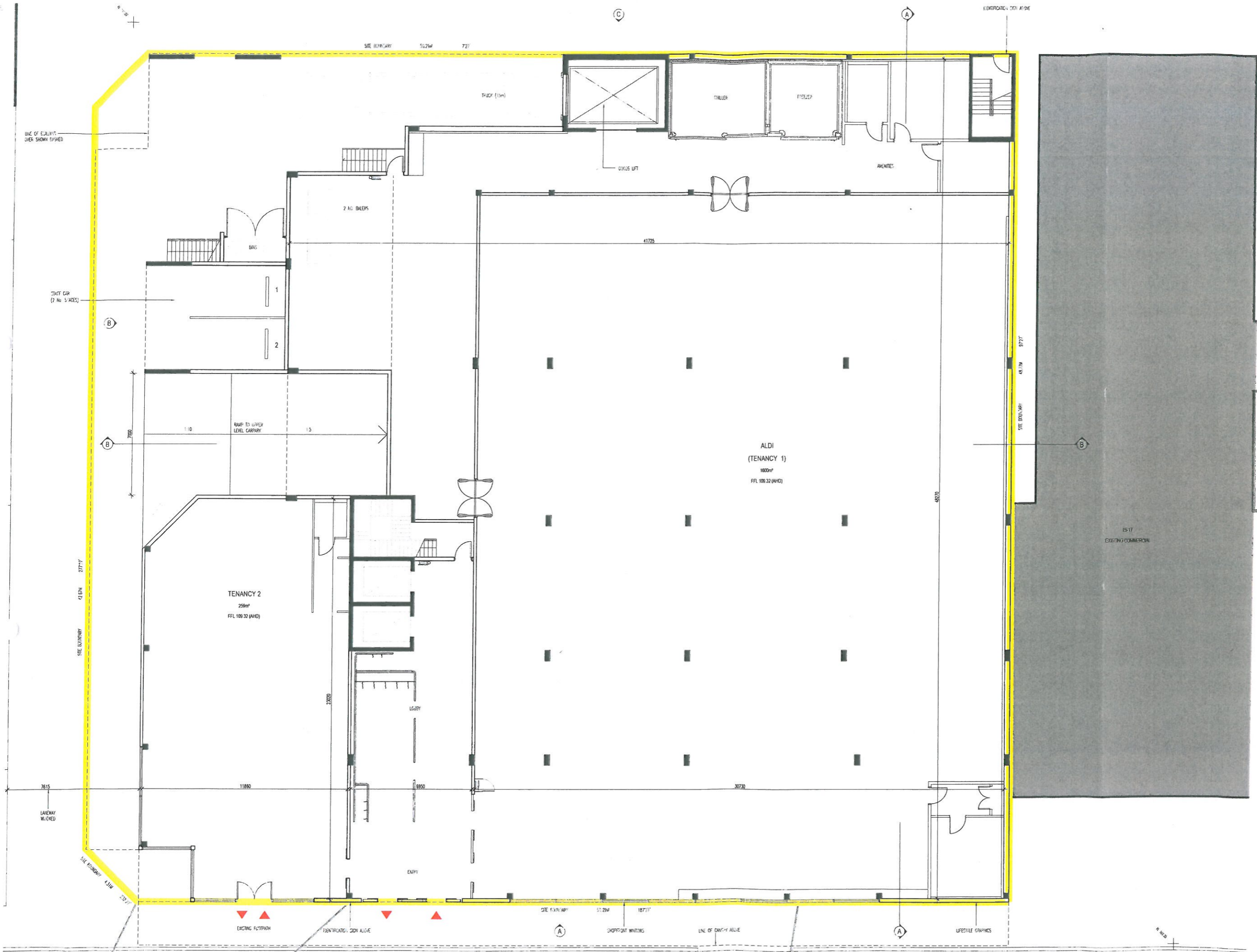
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SG	RB	1:50
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-10	C	





NOTES ORIGINAL A1

- All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect/Designer.
 - Partial Service: Any discrepancies with this or other information to be advised to the Architect/Designer and approval is to be sought before the implementation of the detail.
 - Work and site plans should be verified by a check boundary survey prior to commencement on site.
 - Do not scale this drawing.
 - For the purpose of construction, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect/Designer.
- | REV | DATE | DESCRIPTION | CHKD | APPD |
|-----|----------|----------------|------|------|
| A | 08.04.16 | PLANNING ISSUE | DSO | RB |
| B | 01.07.16 | GENERAL UPDATE | DSO | CM |

PROPERTY DESCRIPTION	
TOTAL SITE AREA	2582m²
BUILDING GROSS AREA	2327m²
BUILDING NETT AREA	2248m²
NETT TENANCY AREAS	1858m²
TENANCY 1	1800m²
TENANCY 2	258m²
PLANT NETT AREA	153m²
PARK/TRAFFIC AREA	2115m²
NUMBER OF CARS	87
SITE BOUNDARY	

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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.



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PROJECT
PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC

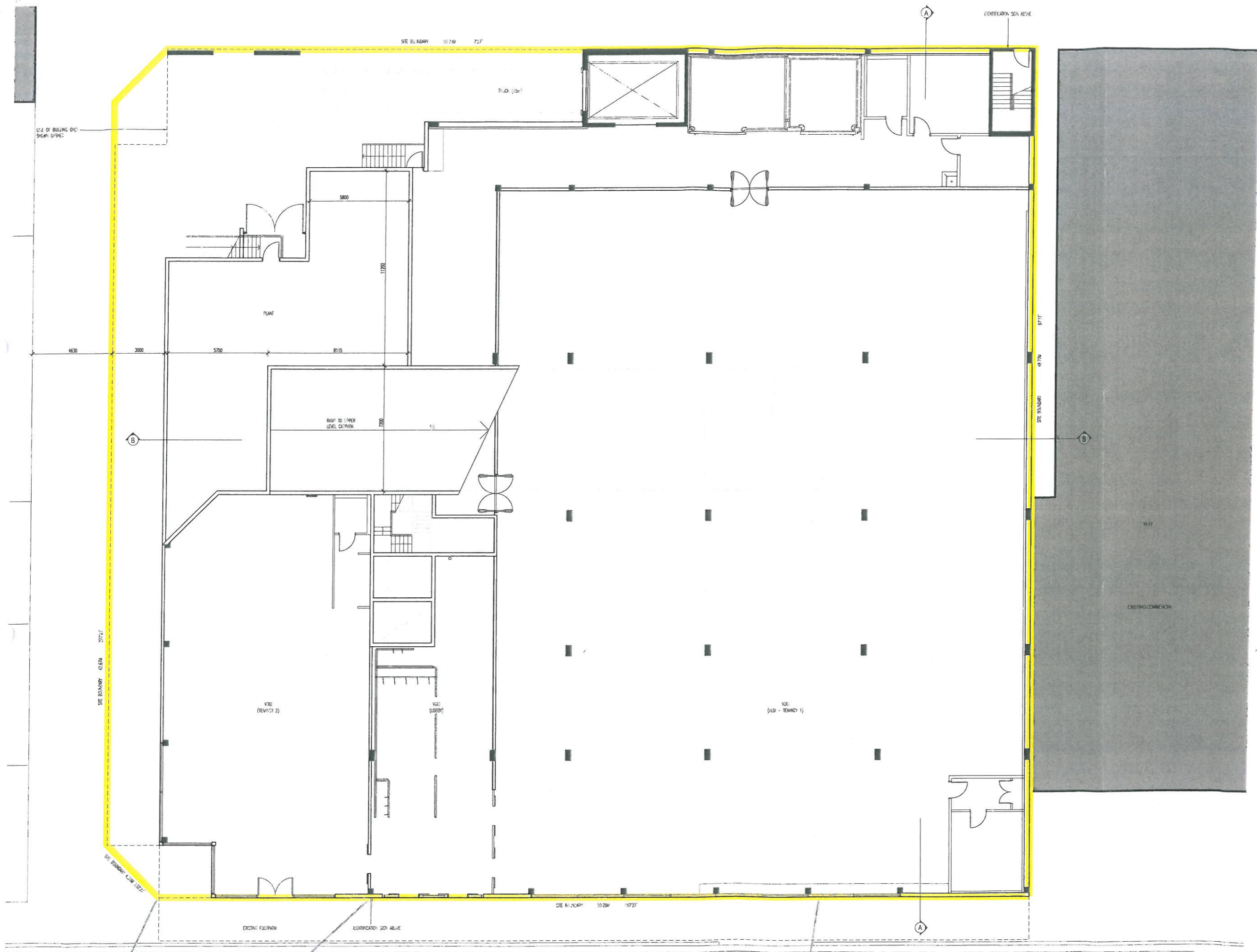
DRAWING
PROPOSED GROUND FLOOR PLAN

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SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-11	B	

01 PROPOSED GROUND FLOOR PLAN
 SCALE: 1:100



NOTES ORIGINAL A1

1. All dimensions, dimensions and levels are to be taken from the building control or any other relevant documents unless otherwise stated.
 2. Partial Service: Any discrepancies with this or other information to be advised to the architect (Designer) and the client in writing before the implementation of the plan.
 3. Check and site plans should be verified by a check survey prior to commencement of work.
 4. Do not use this drawing.
 5. For the purpose of coordination all relevant parties must advise this information prior to implementation and report any discrepancies to the Architect/Designer.
- | REV | DATE | DESCRIPTION | DRAWN | CHECKED |
|-----|----------|----------------|-------|---------|
| A | 08.04.16 | PLANNING ISSUE | SG | RB |
| B | 01.07.16 | GENERAL UPDATE | SG | RB |

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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.



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PROJECT
 PROPOSED RETAIL DEVELOPMENT
 1-13 ERICA AVENUE
 BORONIA, VIC
DRAWING
 PROPOSED REFRIGERATION PLANT DECK PLAN

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SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-11	B	

01 PROPOSED REFRIGERATION PLANT DECK PLAN
 SCALE: 1:100

1. All boundaries, dimensions and levels are to be checked on site before construction and any discrepancies are to be reported to the Architect. Designer
 2. Particular Service: Any discrepancy with any other information is to be advised to the Architect. Designer and direction of approval is to be sought before the implementation of the detail.
 3. Bricks and concrete should be tested by a third boundary survey prior to commencement of work.
 4. Do not store this drawing.
 5. For the purpose of construction, all relevant parties must check the information prior to implementation and report any discrepancies to the Architect. Designer
- | REV. | DATE | DESCRIPTION | DESIGNED BY | CHECKED BY |
|------|----------|----------------|-------------|------------|
| A | 08.04.16 | PLANNING ISSUE | DSO | RB |
| B | 01.07.16 | GENERAL UPDATE | DSO | CM |

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REVISION NOTES:
 1. REVISED NORTH POINT DIRECTION.



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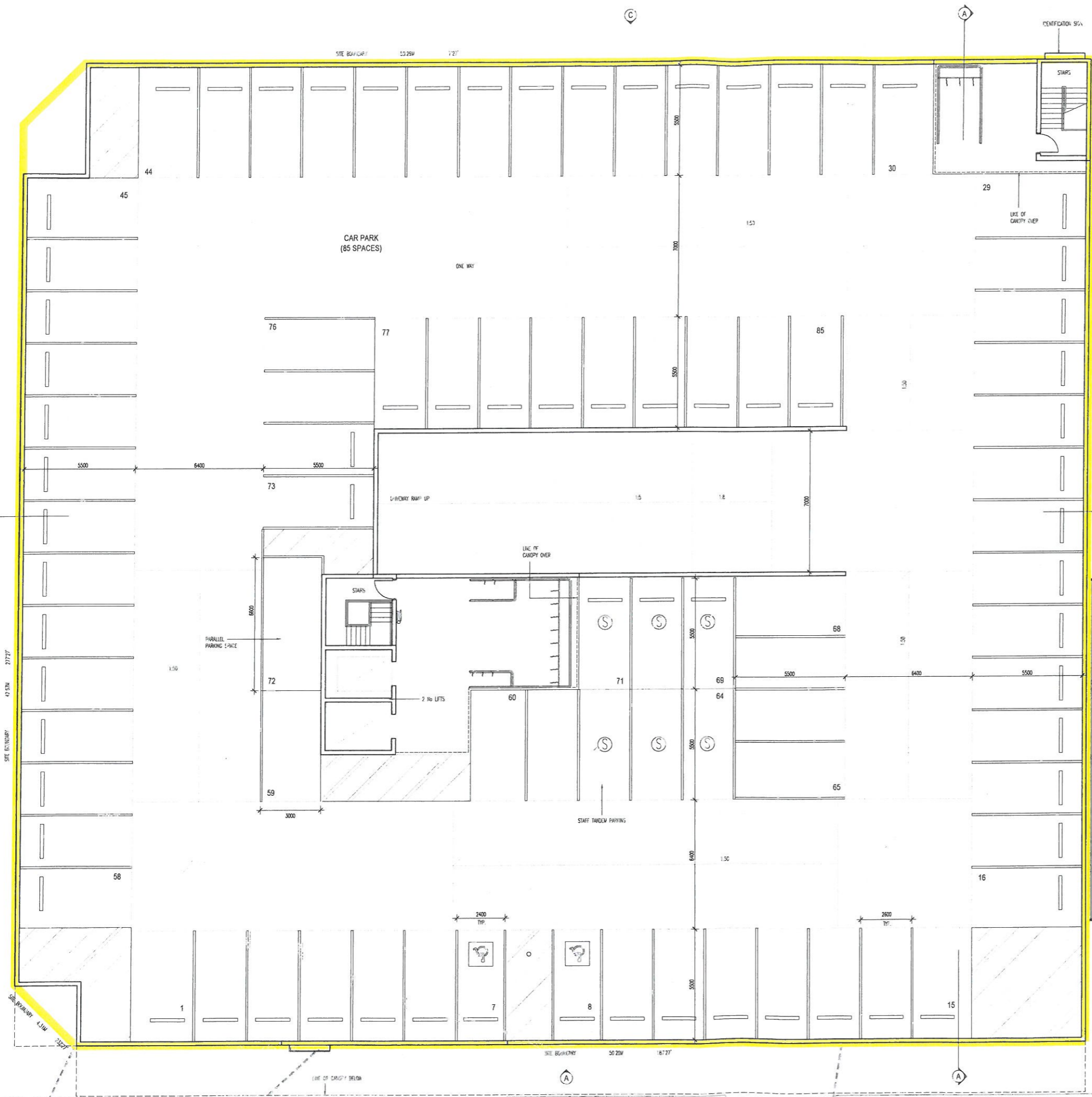
PROJECT
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 1-13 ERICA AVENUE
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DRAWING
PROPOSED UPPER LEVEL CARPARK

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DESIGN	DESIGNED	SCALE
SG	RB	1:100
DATE	PROJECT No	STATUS
AUGUST 2015	M1333	TP
DRAWING No	REV	
TP-13	B	



01 PROPOSED UPPER LEVEL CARPARK
 SCALE: 1:100

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
Approval No: P/2016/6175

Amended plans

1. Prior to the commencement of any buildings or works, amended plans to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be generally in accordance with the plans submitted with the application but modified to show:
 - 1.1 A total of seven (7) bicycle parking spaces; 3 for staff and 4 for visitors. Staff spaces to be provided in either bicycle lockers or at a bicycle rail in a lockable compound located in a common area within the building.
 - 1.2 Car spaces 29, 59, 68 and 72 to be provided with a 300mm clearance where a car parking space is alongside a high vertical obstruction in accordance with Clause 52.06-8 (Design Standard 2 – Car parking spaces) of the Knox Planning Scheme.
 - 1.3 The accessible car parking spaces to be at least the same width of other car parking spaces (minimum 2.6 metres) and adjacent to a shared area on one side and appropriately line marked.
 - 1.4 Location of trolley bays and collection points.
 - 1.5 All tandem and staff car parking spaces (no. 62-64, 69-71) to be designated with pavement marking such as “STAFF”.
 - 1.6 Roof top planters within the roof top car parking area. These are to be located in the eastern, southern and western corners of the car park area (currently shown as hatched areas).
 - 1.7 Drainage plans in accordance with Condition 2 of this Permit and any necessary modifications to the plans.
 - 1.8 Landscaping plans as described in Condition 3 of this Permit and any necessary modifications to the plans.
 - 1.9 Sustainable Design Assessment in accordance with Condition 6 of this Permit and any necessary modifications to the plans.

To the satisfaction of the Responsible Authority.

Drainage Plans

2. Prior to commencement of development, three copies of drainage plans and computations must be submitted to and approved by the Responsible Authority. Construction of the drainage is to be in accordance with these plans. The plans must show the following:
 - 2.1 All stormwater discharge from the site connected to a legal point of discharge.
 - 2.2 A suitable overland flow path for the entire site to the satisfaction of the Responsible Authority. Details of the overland flow path are to be included on the plans.

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
Approval No: P/2016/6175

2.3 The use of water quality improvement systems is required to be considered for this development. The use of rainwater tanks, bioretention system and vegetated swales can be used and these are to be incorporated in the stormwater drainage design plans.

2.4 All level to be to AHD (Australian Height Datum).

To the satisfaction of the Responsible Authority.

Landscape plans

3. Landscaping works must be completed prior to the completion of the development to the satisfaction of the Responsible Authority and then maintained to the satisfaction of the Responsible Authority. Three copies of plans showing these landscaping works must be submitted to and approved by the Responsible Authority prior to the commencement of development. The plan must show:

3.1 A survey (including botanical names, height and width) of all existing vegetation to be retained and / or removed.

3.2 Buildings and trees (including botanical names, height and width) on neighbouring properties within three metres of the boundary.

3.3 Details of the surface finishes of pathways and driveways.

3.4 Details and location of all existing and proposed services including above and below ground lines, cables and pipes.

3.5 A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.

3.6 Landscaping and planting within all open areas of the site.

3.7 Roof top planters within the roof top car parking area. These are to be located in the eastern, southern and western corners of the car park area (currently shown as hatched areas).

3.8 Any relevant water quality improvement systems in accordance with Condition 2.3.

To the satisfaction of the Responsible Authority.

4. Before the occupation of the development, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the responsible authority.

5. The landscaping shown on the endorsed plan must be maintained to the satisfaction of the Responsible Authority.

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
Approval No: P/2016/6175

Sustainable Design Assessment

6. Prior to the commencement of any buildings or works, a Sustainable Design Assessment detailing Sustainable Design initiatives to be incorporated into the development must be submitted to and approved by the Responsible Authority. The Sustainable Design Assessment must outline the proposed sustainable design initiatives to be incorporated throughout the development such as (but not limited to) energy efficiency, water conservation, stormwater quality, waste management and material selection, to the satisfaction of the Responsible Authority.
7. Prior to the occupation of the development, the development must be constructed in accordance with the Sustainable Design Assessment.

Street Tree Removal

8. All works associated with the removal and replacement of the street tree/s must be undertaken by Council and the owner/developer must bear all costs associated with these works. The owner/developer must pay all costs to Council prior to the commencement of any works approved under this permit.

Car Parking and Access ways

9. Before the use commences, areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan must be:
 - 9.1 Fully constructed in accordance with plans submitted to and approved by the Responsible Authority. The plans must show existing and proposed levels of driveways and car parking areas, together with drainage layout, invert levels, surfacing and vehicular crossing proposals.
 - 9.2 Properly formed to such levels that they can be used in accordance with the plans.
 - 9.3 Constructed to the absolute minimum standard of 125 mm depth of reinforced concrete or other approved hardstanding sealed surface.
 - 9.4 Line-marked to indicate each car space and all access lanes to the satisfaction of the Responsible Authority.
10. Parking areas and access lanes must be kept available for these purposes at all times.
11. Access way and car parking lighting shall be provided to the satisfaction of the Responsible Authority in accordance with AS1158.
12. All loading and unloading of goods from vehicles must only be carried out on the land (within the designated loading bay(s)/and must not disrupt the circulation and parking of vehicles on the land).

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
Approval No: P/2016/6175

13. The car parking area must not be used as a storage area.

Signage

14. The permitted sign(s) must not be illuminated by flashing lights.
15. All signs must be wholly located within the boundaries of the subject land.
16. Signs must not be illuminated by external lights except with the further written consent of the Responsible Authority.
17. No further advertising signs, flags, buntings or similar devices must be displayed on the site without the prior written consent of the Responsible Authority, unless otherwise permitted by the Knox Planning Scheme.

Amenity

18. Any noise emissions from the premises must comply with State Environmental Protection Policy (Control of Noise from Commerce, Industry and Trade) N – 1 (SEPP N – 1).
19. At the request of the Responsible Authority, the operator will within thirty (30) days supply an assessment of the noise levels emitted from the site by a qualified acoustic consultant/engineer with readings taken at times specified by the Responsible Authority.

The assessment will document compliance with SEPP N – 1 and/or environmental noise impacts detected at residential properties and/or commercial properties indicating frequency and intensity of PEAK noise exposure. All costs associated with this assessment are to be borne by the operator of the business.

20. The storage of all waste materials shall be carried out within the confines of the building or designated external waste storage areas as they appear on the endorsed plans.

Amenity During Construction

21. Upon commencement and until conclusion of the development, the developer shall ensure that the development does not adversely affect the amenity of the area in any way, including:
- 21.1 the appearance of building, works or materials on the land
 - 21.2 parking of motor vehicles
 - 21.3 transporting of materials or goods to or from the site
 - 21.4 hours of operation
 - 21.5 stockpiling of top soil or fill materials
 - 21.6 air borne dust emanating from the site

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
Approval No: P/2016/6175

- 21.7 noise
- 21.8 rubbish and litter
- 21.9 sediment runoff
- 21.10 vibration

Should the development cause undue detriment to the amenity of the area then immediate remedial measures must be undertaken to address the issue as directed by, and to the satisfaction of, the Responsible Authority.

General

- 22. The use and/or development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 23. Once the development has started it must be continued and completed to the satisfaction of the Responsible Authority.
- 24. All development must be in accordance with the endorsed plans.

Stormwater

- 25. All storm and surface water shall be collected and discharged in a complete and effective system of drains to be provided as directed by the Responsible Authority to an underground pipe drain at the owner's cost.

Maintenance

- 26. All buildings and works must be maintained in good order and appearance to the satisfaction of the Responsible Authority.

Permit Expiry

- 27. This permit will expire if one of the following circumstances applies:
 - 27.1 The development and use is not started within two years of the date of this permit.
 - 27.2 The development and use is not completed within four years of the date of this permit.

Pursuant to Section 69 of the Planning & Environment Act 1987, the Responsible Authority may extend:

- The commencement date referred to if a request is made in writing before the permit expires or within six (6) months afterwards.

DRAFT PLANNING CONDITIONS – APPENDIX D



Proposal: Buildings and works associated with a shop, reduction in car parking requirements and erection of internally illuminated business identification signs
Location: 1-13 Erica Avenue BORONIA VIC 3155
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- The completion date referred to if a request is made in writing within 12 months after the permit expires and the development started lawfully before the permit expired.

NOTES:

Drainage Notes (to be read in conjunction with the above drainage conditions):

- Applicant shall engage a certified Engineering Consultant to analyse the site's existing drainage to determine type and size of the Onsite Detention (OSD) system. This shall be designed in accordance with the Knox City Council (Responsible Authority) Stormwater Drainage Guidelines, (copy available on request), and approved drainage design methods specified in the current edition of Australian Rainfall and Runoff. It should be located preferably in a common area to the development, and be easily accessible for maintenance.
- The Applicant is required to use Australian Height Datum (AHD) to present levels in all future plans. Applicant must ensure that levels on the plan are accurate.
- Drainage system designed so as to avoid impact on any vegetation shown on the endorsed plans as being retained.
- Water Sensitive Urban Design (WSUD) should be addressed as part of this development, eg water storage tanks, swale drains, etc.

Landscape Notes (to be read in conjunction with the above landscape conditions)

- The plan should incorporate Raingardens and/or Bioswales where possible to treat the water runoff from the hard surfaces (car parks and driveway's). The surface area of the proposed raingarden should be 3-5% of the surface area of the catchment feeding it. The levels should be shown on the plan and the concrete pavement should be shaped to drain into the raingarden (at the lowest point) through gaps in the kerbing. Details of the raingarden (cross section) should be shown on drainage and landscape plan in accordance with Knox City Council's standard.
- At least 50% of the vegetation species located in the raingarden should comprise of some or all of the following; Carex sp, Juncus sp, Melaleuca and Goodenia. This ensures adequate removal of Nitrogen and Phosphorus. The rest of the plant species should comprise a minimum of 80% indigenous species from Appendix 4 from the 'Landscape Guidelines for Town Planning Permits'
- If water is falling to the road side from the main driveway and not into the noted raingarden then a trench gate moving water to the rain garden(s) is to be installed.

Health Notes:

- Prior to commencing the fit-out of any food premises, plans should be submitted for assessment and comment by the Health Services Unit of Knox City Council.

DRAFT PLANNING CONDITIONS – APPENDIX D



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- Prior to the commencement of trade of any food premises, the operator must be in receipt of a current Food Act registration issued by the Health Services Unit of Knox City Council.
- A bin area shall be provided on the site and must be graded and drained to sewer, with hot and cold water for the purposes of bin washing. If this is not possible the applicant shall obtain prior written consent from the Responsible Authority for any submitted proposed alternative to the provision of a graded and sewered bin area.
- All bin areas are to be maintained in a clean, sanitary condition and free from obstruction at all times.
- If upon the request of the Responsible Authority (Knox City Council or Environment Protection Authority), the operator must remedy any situation within or nearby the bin area, to the satisfaction of the Responsible Authority or its Authorised Officer within 24 hours.
- Designated smoking areas are to comply with the Tobacco Act 1987 and contain suitable receptacles for the disposal of cigarette butts.
- No smoking signage is to be prominently displayed upon entry points to 'enclosed areas' as defined by the Tobacco Act 1987.
- Noise generated as the result of the construction of the building and surrounding facilities must comply with section 2 of the Noise Control Guidelines (EPA Publication 1254).
- Rubbish collection times must comply with section 6 of the Noise Control Guidelines (EPA Publication 1254).
- Deliveries to the premises must comply with section 9 of the Noise Control Guidelines (EPA Publication 1254).

Other Notes:

- A building permit must be obtained before development is commenced.
- Buildings are not allowed to be built over Council easements.
- Internal public lighting shall be provided to the satisfaction of the relevant authority and in accordance with AS1158. This would generally be low height or bollard type lighting to avoid spill-over into adjacent properties. It may be sensor activated, to avoid all night running costs.
- Structures (including fences and meter boxes) and landscaping near access ways must allow for adequate sight distances in accordance with AS2890.1, Clause 3.2.4.
- Raised concrete slabs on the existing footpath fronting the site should be grounded.
- Indigenous plants can be purchased through approved indigenous nurseries, as listed in the Knox City Council 'Preferred Local Replacement Plants' Information Sheet.
- Approvals from relevant authorities must be obtained for construction in close proximity to services.

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- The minimum cost for removal and replacement of nature strip trees is \$312.50.